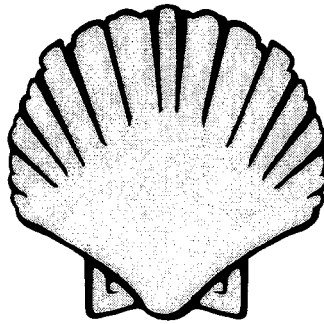


THE ENCLAVE COMMUNITY ASSOCIATION

**ARCHITECTURAL AND LANDSCAPE
DESIGN GUIDELINES**



**The Enclave Community Association
Architectural Review Committee**

Revised:
APRIL 2004

**ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES
THE ENCLAVE COMMUNITY ASSOCIATION**

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1. Introduction

The preservation of the architectural character of your community is the responsibility of every owner. Every new home built will influence the aesthetic beauty of the entire community and property value of your home.

The Enclave Community Association (the "Association") is charged with the responsibility of preserving this architectural character. In accordance with the Covenants, Conditions and Restrictions (CC&R's), the Architectural Review Committee (the "ARC") has been appointed to adopt these guidelines and to fairly and consistently enforce them, along with all architectural provisions of the CC&R's affecting each lot. These guidelines ("Guidelines") have been adopted by the Committee and the Board of Directors (the "Board").

These guidelines are the basis and criteria for evaluation of plans and specifications submitted for review and approval to the ARC. These guidelines are established, not to stifle the imagination or creativity of the residents, but to insure that certain disciplines will be in effect, which will cause the development of the community to grow in an integrated and continuous manner, thereby achieving a pattern of continuous quality and identity. The Guidelines are intended to:

- a. Formulate and maintain the standards of quality for community appearance;
- b. Assure compatibility of all development of land structures; and
- c. Protect and enhance real estate values.

The maintenance of the above criteria in the design of all improvements will be the primary consideration in design development and review. Accordingly, these Guidelines are subject to amendment from time to time as provided for herein.

2. Individual Lot Parcels

Description: The objective is to allow more flexibility in architectural vocabulary so that each individual home has the ability to be original in design, yet remain within the established fabric of the community.

Builders and owners should carefully review the tract map conditions of approval, all pertinent Zoning, Building and Safety Department regulations and ordinances, and CC&R's for Enclave lots prior to commencing design efforts.

Building Forms and Materials: Roof forms may be hips, gables, sheds, or domes. A limited amount of flat roofed area may be used, subject to ARC approval. Roof slopes may vary between 3:12 and 6:12. Roof materials should be clay, tile concrete, tile slate or other material approved by ARC. Wood, asphalt, or metal shall not be used. Building massing should be rectangular forms grouped together. Circular or octagonal forms may also be used. Exterior walls will be plaster. The use of natural stone, cast stone, or brick may be allowed.

Door and Windows: Windows may be wood, vinyl, heavy frame aluminium or steel as long as they are constructed with large profile frames. Windows and doors will be recessed to give the appearance of thick, massive walls.

Decorative Elements: Decorative elements should be used where appropriate. They will be wrought iron, wood, stone, cast stone, plaster, or ceramic tile. Cloth awnings or glass blocks may be used where appropriate.

Color Boards: In order to insure that homeowners do not deter from the specified approved color boards submitted to the ARC, all color boards submitted must list the name of the color, number and manufacturer.

Setbacks: Single family detached lots are subject to the City of Los Angeles' Building Code and Zoning regulations. The property must conform to those criteria and those imposed by the Guidelines, whichever are more restrictive. These Guidelines provide the following:

Front: Minimum 20' to any building from property line. ARC will require varying setbacks in reviewing a street scene. Variances of 5' and less will be considered on an individual basis.

Sides: Individuals or Builders should consult Building and Safety, Engineering, Coastal Commission, Zoning, and Planning Departments' requirements for side yard setbacks and from tops and toes of slopes. In no case shall the side yard setbacks be less than 5' to the property line.

Rear: Minimum 15' setback from the top of existing slope for lots with descending rear slope. In all other cases use the City of Los Angeles setback, but in no case shall the rear yard setback be less than 15' to the property line.

Landscaping: Individuals and Builders are required to landscape front, rear and side yards with a landscape and hard scape plan approved by the ARC.

Height Restriction: The maximum building height allowed is 32' from a point midway in the pad for each lot and will be set by the ARC.

View Obstruction: Absolute care should be taken to consider the potential view obstruction of other lots.

Paving: Textures, patterns and colors are encouraged in the design of paved areas in front yard areas. Modulation of surface should occur to define direction of walkways and location of major nodes such as recreation facilities, entries, etc. Large monolithic areas of single color untextured paving are not allowed. Asphalt driveways are not allowed.

Mechanical Equipment: All air conditioning/heating equipment, soft water tanks, gas meters, and electric meters must be screened from public view. Sound attenuation measures must be incorporated.

Gutters and Downspouts: Gutters and downspouts may be concealed or exposed if designed as a continuous architectural feature. Exposed gutters and downspouts, other than copper or dark bronze, shall be painted to match adjacent roof or wall material.

Antennas: All antennas are restricted to the attic or interior of the residences. Antennas must also comply with all applicable FCC requirements. Satellite dishes 18" maximum in diameter are permitted but must be installed in a manner that they are not visible from the street.

Flashing, Sheet Metal, Vents: All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surfaces.

Skylights: Skylights are to be designed as an integral part of the roof. Their form, location and color should relate to the building. Bubble skylights are not allowed.

Retaining Walls: The Architectural Review Committee has full power and authority to allow for retaining walls. It is strongly suggested that all owners and/or builders submit preliminary conceptual plans for design and engineering before proceeding with a full submittal of plans. The maximum allowed retaining wall height is 7' of exposed height, unless otherwise approved by ARC.

Solar Panels: Solar panels are to be integrated into the roof design, flush with roof slope. Frames must be colored to complement the roof. Natural aluminium frames are prohibited. Support solar equipment shall be enclosed and screened from view.

Awnings: Canvas awnings of solid accent colors are permitted in moderation.

Exterior Light: Light cast from light fixtures must fall on your lot.

Materials Not Allowed

Roofs: Wood shakes, wood shingles, asphalt shingles, metal roofs.

Exteriors: Wood siding, wood shingles, masonite siding.

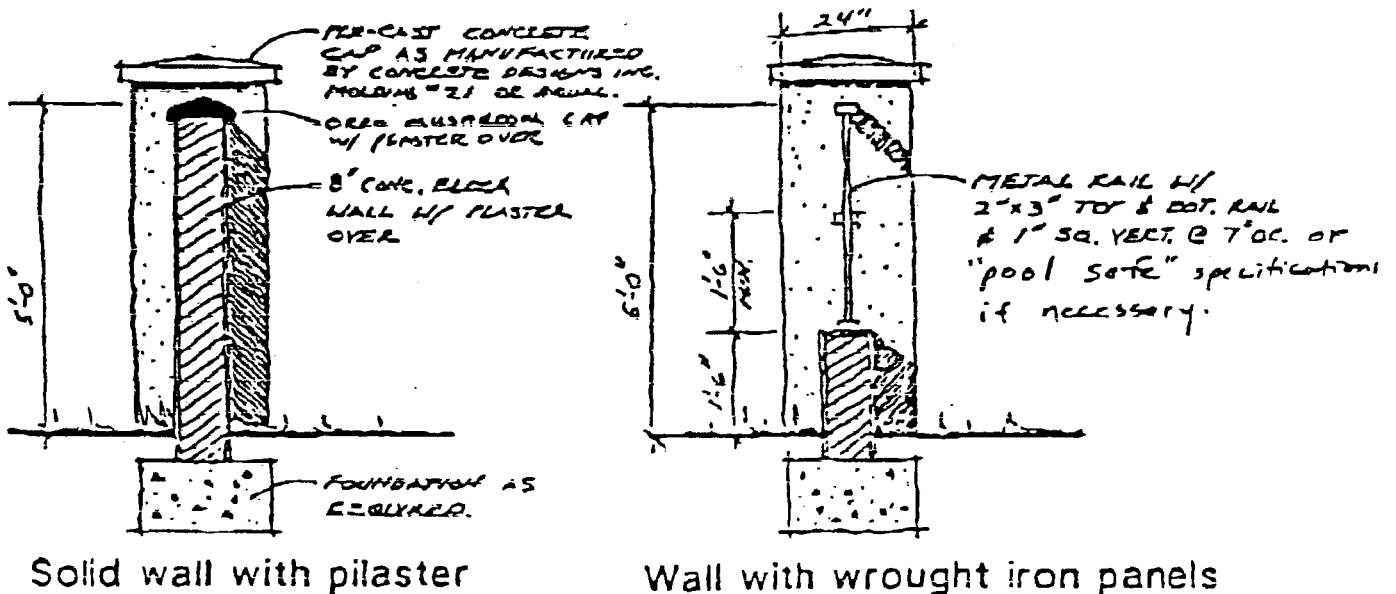
Decorative Materials: Metal awnings, reflective glass.

Accessory Structures: Patio trellises, pergolas and other exterior structures may be stucco or wood as permitted by governing codes with finishes complying with approved material and color palette. Trellises and patio covers with clean forms are encouraged.

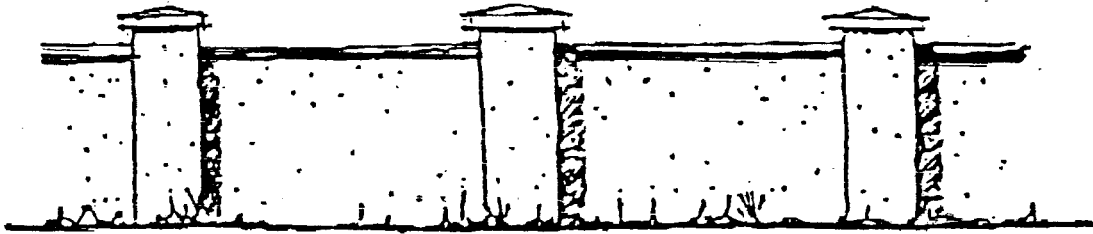
Mailboxes: Are supplied by the developer to each lot.

Trash Enclosures: Trash bins shall be fully enclosed within 5' or 6' stucco walls and solid gates, and should be softened with landscaping.

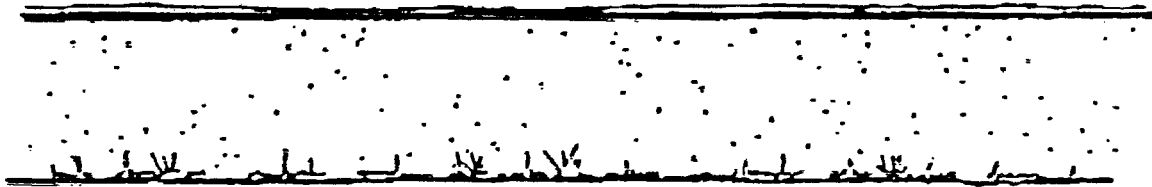
Yard Walls: Walls or fences on property lines must conform to the following minimum standard details. Special design details will be considered on a case-by-case basis.



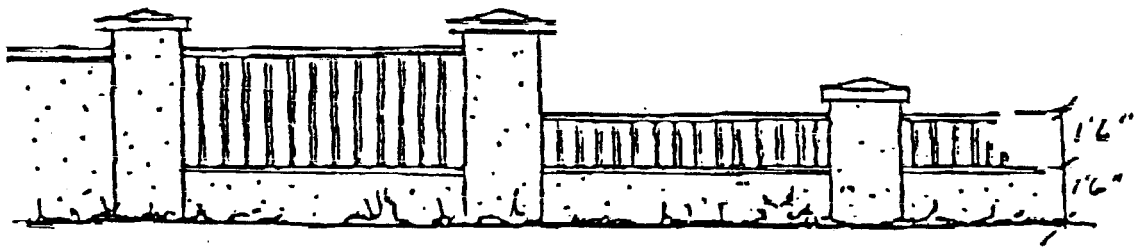
Yard Walls (continued):



Solid wall with pilasters



Solid wall



Wall with wrought iron panels

LANDSCAPE DESIGN GUIDELINES

Introduction

These landscape design guidelines are intended to enhance the character and quality of the community established by the architectural guidelines.

The landscape theme for The Enclave reflects the serene yet rich and diverse nature of the California landscape.

For the protection and preservation of property values, the CC&R's empower the Board of Directors to establish rules and regulations and authorizes them to enforce those rules. The following Guidelines have been created to provide owners, architects, designers and landscapers a reference point from which to develop their individual plans. These guidelines may be amended from time to time, so it is recommended that a current set be obtained prior to commencing design.

General Guidelines

1. All plant material selected should be suitable for the climate, soil conditions, and theme of the community (see recommended plant list).
2. Landscape planting palettes should be simple and kept to a limited number of plant materials.
3. Plantings should be done in masses or groupings of a single species to avoid complexity.
4. Landscape plantings should provide for effective screening of parking areas, utility enclosures or any visually undesirable element or structure.
5. Plant selections should strive to maximize color during all four seasons.
6. All landscaped areas must have an automatic irrigation system, preferably designed by a Landscape Architect or irrigation consultant to ensure efficient water usage.
7. Property owners are responsible for planting and maintaining all landscaping within their lot except for the common slopes, which are maintained by the Association.

Front Yard Landscaping

1. All front yards are required to be landscaped within 60 days of occupancy and all plans are subject to prior approval by the ARC.
2. A minimum 40 percent of total front yard shall be in landscape planting area.
3. Front yards shall be planted with a combination of trees, shrubs and ground cover or lawn. All lawns shall be sodded.
4. At least three (2-24" box and 1-36" box minimum) trees shall be planted per front yard. Groupings of vertical trees are encouraged.
5. Trees in front yards should be planted at least three feet from back of a sidewalk and five feet from a driveway.

6. Front yards are to be irrigated with permanent underground automatic systems. Pop-up heads should be used in lawn areas adjacent to sidewalks or curbs. The use of moisture sensor devices is encouraged.
7. Driveways and walkways are to be textured paving or treated concrete.

Side and Rear Yard Landscaping

1. Side yard planting is encouraged to create a sense of privacy between adjacent homes.
2. Rear yard planting can provide shade and privacy, define outdoor spaces and frame views. Care must be taken, however, in planting trees and tall shrubs so as not to obstruct views from adjacent lots or units.
3. Maximum height of plants or trees placed in the strip of land running 15'-0" in and parallel from the original top of slope shall be 42" high. No landscape shall be planted in a manner so as to create a solid barrier, which may obstruct a neighbor's view.

Walls and Fences

1. All mechanical equipment, utilities, storage, etc., not occurring within a building should be screened from adjoining properties and public streets by a wall of a minimum height of five feet.
2. All walls are to be stucco per the approved wall detail provided on the wall plan. Wood fencing is not acceptable.
3. Alternate fence and wall designs may be requested, but are subject to written approval of the ARC. In general, the design of the wall should be compatible with the architecture to which it is related.
4. For units situated at the top of the slope: The rear screen and the last 15 feet of rear side yard should be a low stucco wall with wrought iron fencing above to allow for greater view angle. All wrought iron fencing shall be of color approved by the ARC.
5. Side yard gates fronting on public streets should be of design that is compatible with the architecture.
6. Wherever crib walls or retaining walls are required, planting should be used to soften them. All retaining or crib walls are required to be approved by the ARC prior to construction. Plants and trees should be planted at both the bottom and top of any crib or retaining walls. Vines or trailing plants are recommended. Any retaining wall visible to a public street or neighboring lot must be stucco and painted with an approved color.

Recommended List of Plants

1. Trees

Olive
Citrus – Lemon, Orange, Grapefruit
Italian Stone Pine
Sycamore – European
Cypress
Magnolia
Poplar
Jacaranda
Fig – Including Edible
Palms
Eriobotrya – Loquat
Ficus Species
Pine Species
Hollywood Juniper
Coral

2. Shrubs

Hibiscus
Oleander
Gardenia
Eugenia
Roses
Azalea
Boxwood
Myrtle
Plumbago
Tecomaria
Bird of Paradise
Giant Bird of Paradise
Privet
Philodendron
Flax

3. Vines/Trailing Plants/Herbaceous

Geranium
Bougainvillea
Grape
Honeysuckle
Wisteria
Creeping Fig
Boston Ivy
Red Blood Trumpet Vine (Distictus)
Agapanthus
Star Jasmine

THE ENCLAVE ARCHITECTURAL REVIEW COMMITTEE DOCUMENT APPLICATION

(Use this form for conceptual, preliminary and final review submissions)

Property Information

Address: _____

Legal Description: Lot _____ Tract # _____

Property Owner (Applicant)

Name: _____

Address: _____

Telephone #: _____

Project Architect

Name: _____

Address: _____

Telephone #: _____

Project Landscape Architect

Name: _____

Address: _____

Telephone #: _____

I am hereby applying for the following review:

- _____ Conceptual Review
- _____ Preliminary Review
- _____ Final Review
- _____ Three Sets of Plans

Submittal Log (Office use - Do not complete)

Conceptual Review	Submitted _____	Reviewed _____
Preliminary Review	Submitted _____	Reviewed _____
Final Review	Submitted _____	Reviewed _____
Site Inspection - Framing	Called _____	Inspected _____
Site Inspection - Final	Called _____	Inspected _____

Review Criteria

Every application presented to the ARC is given careful review and consideration and judged relative to the design guidelines and architectural character of the community. Approval of plans is based on many factors. Some of the many factors are the relationship to the neighboring structures, sites, land uses, and architectural character. The specific and general intent of the plans must conform to the currently published Architectural and Landscape Design Guidelines.

These guidelines, along with the provisions set forth in the Master and Enclave homeowners association CC&R's, form the basis for evaluation of plans and specifications for new construction submitted to the ARC for review and approval. Any items or issues not addressed in the governing instruments for this community are matters left to the discretionary judgement of the ARC acting in good faith on behalf of the best interests of the Master and Enclave Associations as a whole. The ARC may at its discretion amend these Guidelines from time to time for the purpose of more fully describing their original intent.

Application Content

A - Conceptual review is discretionary. The Review is to assist the homeowner and the architect with questions regarding site, zoning and location of the house on site.

B - Preliminary review (design drawings) are required for all new construction or improvements.

C - Final review (working drawings) are required for all new construction or improvements.

D - Site inspection after completion: Architectural Review Committee architect will visit the site at completion to inspect the conformance of the built project to the approved documents.

E - Site inspection after framing: Architectural Review Board architect will visit the site at the completion of framing to inspect the conformance of the built project to the approved documents and submitted color and material sample boards.

(All plans and documents thereto must be approved by the ARC prior to the start of construction. No application will be considered unless all submission items are included.)

Note: It is a requirement of the CC&R's that the construction be completed no longer than 18 months after commencement of construction. Start of construction begins with the first work on the site to clear and prepare the site for construction. Completion is at the time of completion of all construction work and installation of all landscape.

Application Declaration

The applicant hereby acknowledges that he/she has read the Master and Enclave Homeowners Association CC&R's and Architectural and Landscape Guidelines and that the plans being submitted are in conformance with those documents. Furthermore, it is understood that approval of any improvements by the ARC does not waive the requirement for any other required public agency review or permit approval process.

Applicant's Signature

Date

Name

Address

The following must accompany this application: (amended 9/2003)

1. Architectural Review Fee in the amount of \$1,000.00. This fee covers review of plans by the Association's architect for: 1) New Home Construction and/or Home Addition/Modification; 2) Hardscape (fencing, walls, pavings, overhead structures, drainage devices and pools and spas with equipment location); and 3) Landscape, including irrigation. NOTE: Additional fees may be imposed depending on the complexity of plans submitted and costs presented by the Association's architect.
2. Construction Security Deposit - \$5,000.00.
3. Facing, Adjacent and Impacted Neighbor Notification Statements

The above fees are subject to submittal of plans at the same time. If plans are submitted separately an additional \$300.00 will be due per submittal.

Review fees are waived for minor¹ modifications (e.g. awnings, patios, fixtures, landscape changes etc.)

The security deposit paid in accordance with these guidelines will be refunded, without interest, minus any costs expended for additional reviews by the appropriate architect on behalf of the Association or repairs to damage of the common area caused by persons/companies completing the improvements.

NOTE: An indemnity/hold harmless agreement must be recorded on the home and will be provided upon receipt of an application/approved variance.

Submissions Required:

All plans and related documents for the construction or installation of any improvement must be submitted in triplicate. Provide one full size set of blueprints and two 11" x 17" reduced sets.

Upon completion of each review, one set of plans will be retained by The Enclave Community Association, one set will be retained by the reviewing architect, and the remaining set of plans will be returned to the property owner.

¹ Minor is defined as a project with a cost less than \$5,000.00

1. Conceptual Review

Conceptual drawings may be submitted at the discretion of the owner to clarify site and zoning related issues.

The following Conceptual Review items were received:

- _____ 1. Completed Review Committee document application form.
- _____ 2. Conceptual site plan 1/8" = 1'-0"
 - show proposed building envelope
 - show setbacks
 - show proposed retaining walls if any
 - show any other items requiring clarification

Acknowledgment of Completeness, with conditions:

Architectural Review Committee

Date

Conditions:

2. Preliminary Review

The following Preliminary Application items were received:

- _____ 1. Completed Review Committee document application
- _____ 2. Payment of Architectural Review Committee fee
- _____ 3. One full size set and two reduced 11" x 17" sets
- _____ 4. Floor Plans at 1/4" = 1'-0"
- _____ 5. Elevations (all sides) at 1/4" = 1'-0"
- _____ 6. Cross section at 1/4" = 1'-0". Show natural grade (existing) finished grade. Height limit measured from natural grade.
- _____ 7. Site plan at 1/8" = 1'0", site survey required for new construction. Show location of all improvements, including mechanical equipment, utility hook up and meters, pool equipment and trash bins.
- _____ 8. Preliminary grading at 1/8" = 1'0"
- _____ 9. Preliminary hardscape plan at 1/8" = 1'0"
(plan should include fencing, walls, pavings, overhead structures, drainage devices, pools and spas with equipment location and conceptual planting plans)
- _____ 10. Architectural drawing in color or rendering of front elevation in color
- _____ 11. Exterior color board and samples of all exterior materials
- _____ 12. Models, perspectives, isometrics etc., are optional
- _____ 13. Building envelope must be shown on all applicable plans, elevations, and sections

Acknowledgment of Completeness:

Architectural Review Committee

Date

Acknowledgment of Preliminary Approval with Conditions:

Architectural Review Committee

Date

Conditions:

3. Final Review

The following Final Architectural Approval items were received:

- _____ 1. Completed Review Board Document Application
- _____ 2. Payment of Architectural Review Committee fee
- _____ 3. One full size, 2 reduced sets etc. (see previous)
- _____ 4. Final construction documents at 1/4" = 1'0"
- _____ 5. Final Site Plan at 1/4" = 1'0"
- _____ 6. Final grading plan at 1/8" = 1'0"
- _____ 7. Final hardscape plan at 1/8" = 1'0"
- _____ 8. Architectural drawing or rendering in color of front elevation in color
- _____ 9. Exterior color board and samples of all exterior materials
- _____ 10. Models, perspectives, isometrics, etc. are optional

Acknowledgment of Final Approval, with conditions:

Architectural Review Committee

Date

Conditions:

THE ENCLAVE ARCHITECTURAL REVIEW COMMITTEE - SUBMITTAL PROCESS

Where to Submit Documents:

Plans and specifications for the construction and installation of any and all improvements within the Enclave shall be submitted and approved by the ARC (prior to submittal to any required governmental agency) at the following address:

The Enclave Community Association, ARC Committee
Attention: Norma Zermeno, AMS™
c/o Avalon Management
8405 Pershing Drive, Suite 401
Playa del Rey, CA 90293

Questions regarding security deposit and additional applications may be obtained at the same address indicated above.

The Board of Directors of the Association has the authority to change the address for the submittal of plans and specification.

Procedure Upon Submittal (Added 11/2002):

The procedure to be followed for any Architectural Modification item submitted will be as follows:

- (i) New requests for review are submitted to the Management Company, who will forward the request in a timely manner (along with original plans in triplicate) to the Architect for review;
- (ii) Management Company will process fees and deposits in the normal course;
- (iii) Management Company will mail a letter to the owner advising them of receipt of plans which are being submitted to the Architect and Architectural Review Committee for review along with a reminder that modifications cannot proceed until formal approval is received from the Association and if they proceed it is at their own risk;
- (iv) Management Company will forward to Architectural Committee in a timely manner a copy of the submittal;
- (v) Architect will review the plans and the submittal in a timely manner and make contact with the homeowner's architect or homeowner as necessary and conduct site visits as necessary;
- (vi) Architect will provide Architectural Review Committee and Management Company with his/her finding(s) and recommendation(s) within thirty (30) days of submittal of plans;
- (vii) If no variance is required, then the Architectural Review Committee Chairperson, on behalf of the Architectural Review Committee and taking into account the Architect's recommendations, will determine that the plans should be approved or disapproved (with any applicable conditions), in which case, the Chairperson will notify the Board of Directors and Management Company, who will send written approval or disapproval (with any applicable conditions) to the homeowner; and
- (viii) If a variance request is needed and deemed justified, the matter will be forwarded to the Board of Directors for discussion and approval at their next Board Meeting.

THE ENCLAVE ARCHITECTURAL REVIEW COMMITTEE
PLAN CHECK CORRECTION SHEET

- Conceptual Review
- Preliminary Review
- Final Review

Please review and correct comments marked with an x and resubmit corrected drawings in order to obtain approval of the submitted review.

Site Plan Review - Zoning Requirements

Front Yard Setback: Required 20'-0". Provided _____

----- Minimum 20'-0" to any building from property line.

-----The Architectural Review Committee will require varying setbacks in reviewing a street scene. Variances of 5'-0" and less will be considered on an individual basis.

-----Notes:

Side Yard Setback _____ **Orientation:** Required 5'-0" Provided _____

----- Does not meet required setback

----- Fireplace intrudes into the required setback

----- In no case will side yard setbacks be allowed any closer than 5'-0" to the property line.

-----Notes:

Side Yard Setback _____ **Orientation:** Required 5'-0" Provided _____

----- Does not meet required setback

----- Fireplace intrudes into the required setback

----- In no case will side yard setbacks be allowed any closer than 5'-0" to the property line.

-----Notes:

Rear Yard Slope Setback: Required 15'-0" Provided _____

----- Does not meet required setback. *Measured 15'-0" from top of existing slope for lots with descending rear slope.*

----- A retaining wall at rear is proposed, in order to extend the rear yard pad. This wall is higher than the required 7'-0" maximum. *The rear yard pad may be extended beyond the existing top of slope into the Homeowners Association easement provided that the total exposed height of all retaining walls utilized to extend pad does not exceed 7'-0" An extension of the rear pad does not alter the requirement that all structures be set back 15'-0" from the original rear top of slope.*

----- Maximum height of structures or walls (other than retaining walls) placed in the strip of land running 15'-0" in and parallel from the original top of slope shall be 18" high.

----- Maximum height of plants or trees placed in the strip of land running 15'-0" in and parallel from the original top of slope shall be 42" high. No landscape shall be planted in a manner so as to create a solid barrier, which may obstruct a neighbor's view.

----- Proposed work violates Master Maintenance Area or Association Maintenance Area requirements. *Nothing shall be constructed in or removed from the common Area or Association Areas without prior written consent of the Board of Directors. [CC&Rs Article X #10.11][CC&R's Article I #1.9][CC&R's Article II #2.7][CC&R's Article IX #9.2]*

-----Notes:

Site Plan Review - Site Improvements:

Site Plan:

- Provide Preliminary Site Plan at scale 1 /8" = 1'-0" (See Checklist for Preliminary Approval)
- Provide Final Site Plan at scale /8" = 1'-0" (See Checklist for Final Approval)
- Show existing contours
- Show proposed contours
- Show finished floor elevations of proposed residence
- Show finished elevations of proposed site improvements
- Show tops of existing slopes
- Show location of top of slope at rear of the flat pad area
- Show building envelope on site
- Show all setbacks from property line.
- Notes:

Grading:

- Provide Preliminary Grading Plan at scale 1 /8" = 1'- 0"
- Provide Final Grading Plan at scale 1 /8" = 1'- 0"
- Show existing contours
- Show proposed contours
- Show finished floor elevations of proposed residence
- Show finished elevations of proposed site improvements
- Show tops of existing slopes
- Show building envelope on site
- Notes:

Walls and Fences:

- Wall design does not meet design parameters as describe in architectural design guidelines. *All walls are to be stucco per approved wall detail provided in the guidelines. Alternate fence and wall design are subject to written approval of the Committee. In general, the design of the wall should be compatible with the architecture to which it is related. Wood fencing is not acceptable. Walls or fences on property lines must conform to the standard details provided in the architectural and Landscape Design Guidelines. Special design details shall be considered on a case by case basis.*
- Retaining walls: Maximum height: 7'-0" ` Provided _____
- Garden walls/Fences: Maximum height: 6'-0" ` Provided _____
- Front yards walls: Maximum height: 3'-6" ` Provided _____
- Notes: Height of walls is measured at exposed wall height on highest side.

Accessory Structures:

- Provide complete plans for all accessory exterior structures including construction details, elevations, heights, proposed finish materials and treatment. *Patio trellises, pergolas and other exterior structures may be of stucco or wood as permitted by the governing codes, with finishes complying with the approved material color palette. Trellis and patio covers of bold, clean forms are encouraged.*
- Notes:

Trash Enclosures:

- Trash bins should be fully enclosed within 5' or 6' stucco walls and solid gates, and shall be softened with landscaping. *No rubbish, trash, garbage or other waste material shall be kept or permitted upon any lot, Common Area or any public street abutting or visible from the Properties, except in sanitary containers located in appropriate areas screened and concealed from view. [CC&R's Article X, #10.9]*
- Notes:

View Obstruction:

----- The proposed project obstructs view of other lots. *Absolute care should be taken to consider the potential view obstruction of other lots. [CC&R's Article X #10.17]*

-----Notes:

Drainage:

----- Show all surface drainage: indicate drain lines, catch basins, area drains percentage of slope and point of curb penetration.[*CC&R's Article X #10.15*]

-----Notes:

Paving:

----- Driveways - No large monolithic areas of single-color untextured paving is allowed.

----- Driveways - No asphalt is allowed.

Textures, patterns and colors are encouraged in the design of paved areas in front yard areas. Modulation of surface should occur to define direction of walkways and location of major nodes such as recreation facilities, entries, etc.

-----Notes:

Pool/Spas:

----- Indicate location of pool/spa equipment on Site plan

----- Specify the method of screening the equipment from public view and the sound attenuation measures to be utilized.

-----Notes:

Mechanical Equipment:

----- Indicate location of all air condition/heating equipment, soft water tanks, gas meters and electric meters on Site Plan

----- Specify the method of screening the equipment from public view and the sound attenuation measures to be utilized.

-----Notes:

Architectural Review:

----- Lot use:

*Each lot shall be used as a residence for a single family and for no other purpose.
[CC&R's Article X #10.1]*

----- Provided Floor Area: Minimum floor area: 3,000 sq. ft.

Provide minimum floor area.

Floor area exclusive of porches, patios, basements, cellars and garages.

[CC&Rs Article X #10.1]

----- Provided Garage Area: Minimum Garage area: 650 sq. ft.

Provide minimum garage area.

Garage shall be a private three (3) cars garage of at least 650 sq. ft., which may or may not be attached to residence. [CC&R's Article X #10.15]

-----Notes:

Architectural Design:

----- Massing of building needs to be revised.

The building massing should be rectangular forms grouped together. Circular or octagonal forms may also be used.

-----Notes:

----- Building height provided: Maximum height = 32'-0"

Building height exceeds maximum height permitted.

The maximum height of 32' is measured from a point midway in the pad for each lot and will be set by the ARC.

-----Notes:

----- Indicate building height on elevations

----- Provide elevations at a scale of 1/4" = 1'- 0" of all sides of the building.

----- Indicate typical building materials, window and door finishes on elevations and provide details as necessary

----- Provide an architectural drawing or rendering in color of the front elevation.

----- Provide color board for the exterior of the building with samples of all exterior finish materials and list proposed colors and materials by name, number and manufacturer.

----- Exterior wall design does not meet design parameters as described in architectural design guidelines.

Exterior walls will be mainly plaster. Exterior materials not allowed are wood siding, wood shingles, masonite siding.

The appropriate use of decorative elements, such as wrought iron, wood, natural stone, cast stone, brick, plaster, ceramic tile, glass blocks may be allowed.

----- Awnings do not meet design parameters as described in architectural design guidelines.

Canvas awnings of solid accent colors are permitted in moderation. Metal awnings and reflective glass are not allowed.

----- Windows and doors do not meet design parameters as described in architectural design guidelines.

Windows may be wood or vinyl framed heavy framed aluminum or steel. Window and doors will be recessed to give appearance of thick, massive walls.

-----Notes:

Roof:

- Provide Roof Plan at a scale of 1/4" = 1'- 0"
- Indicate slope pitches, roofing materials, skylights, solar panels (if any) and treatment and location of gutters and down spouts.
- Roof form does not meet design parameters as described in architectural design guidelines. *Roof slopes may vary between 3:12 and 6:12. Roof forms may be hips, gables, sheds or domes. A limited amount of flat roof may be allowed, subject to ARC approval.*
- Roof materials do not meet design parameters as describe in architectural design guidelines. *Roof materials should be clay, tile concrete, tile slate or other materials approved by the ARC. Wood shingles, wood shakes, asphalt shingles or metal roofs are not allowed.*
- Notes:

Solar Panels:

- Solar panels are to be integrated into the roof design, flush with the roof slope
- Frames are to be colored to complement the roof.
- Natural aluminum frames are not allowed.
- Support solar equipment shall be enclosed and screened from public view.
- Solar energy system does not meet criteria indicated in [CC&Rs Article X #10.18]

Skylights:

- Skylights are to be designed as an integral part of the roof. Their form, color and location should relate to the building.
- Bubble skylights are not allowed.
- Notes:

Gutters and Downspouts:

- Painted exposed gutters and down spouts if painted shall be painted to match adjacent roof or wall material
- Exposed gutters and down spouts if copper or dark bronze shall be left natural.
- No unpainted galvanized gutters and down spouts shall be permitted.
- Notes:

Flashing, Sheet metal and Vents:

- Flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building material
- Notes:

Antennas:

- All antennas are restricted to the attic or interior of the residence
See CC&Rs for further restrictions. Must comply with most recent applicable FCC requirements.
- Notes:

Exterior Lighting:

- Proposed exterior lighting shall not cast light to adjacent lot.
The light from any exterior lighting must fall on your lot.
- Notes:

Miscellaneous:

- Provide an automatic sprinkler system.
The Property is located within a Mountain Fire District designated by the City. Pursuant to the City ordinances, the residence in the property must be equipped with an automatic sprinkler system.[CC&Rs article XV #15.15]
- Notes:

IMPACTED NEIGHBOR STATEMENT

It is the intent of the Architectural Committee to notify neighbors on any improvements, which may impact their use and enjoyment of their property. Neighbor approval or disapproval of a particular improvement shall only be advisory and shall not be binding in any way on the Architectural Committee's decision.

1. Definitions: Facing Neighbor, Adjacent Neighbor and Impacted Neighbor

Facing Neighbor: Means the three- (3) homes most directly across the street.

Adjacent Neighbor: Means all homes with adjoining property lines to the Lot in question

Impacted Neighbor: Means all homes in the immediate surrounding area, which would be affected by the construction of any improvements.

2. Improvements Requiring Notification

Any Exterior improvements including but NOT limited to exterior painting.

3. Statement

The Facing, Adjacent and impacted Neighbor Notification Statement set forth on the following page must be provided to the Architectural Committee to verify the neighbors have been notified about the proposed improvements.

**The Enclave Community Association
Facing, Adjacent and Impacted Neighbor Notification Sheet**

The attached plans were made available for my review as an *Impacted Neighbor* for:

Name

Address

I hereby approve/disapprove of the plans as submitted. Notes:

Name

Signature

Address

Date

My Neighbors have seen the plans I am submitting for Architectural Committee approval (see above verification). If any neighbor has a concern, they should notify Avalon Management in writing. Please note that neighbor objections do not in themselves cause denial of the plans, however, those concerns may be considered by the Committee. The above form must be completed whether or not a signature has been obtained.

Submitted by:

Name

Date

Address

Home Phone Number

**The Enclave Community Association
Facing, Adjacent and Impacted Neighbor Notification Sheet**

The attached plans were made available for my review as an *Adjacent Neighbor* for:

Name

Address

I hereby approve/disapprove of the plans as submitted. Notes:

Name

Signature

Address

Date

My Neighbors have seen the plans I am submitting for Architectural Committee approval (see above verification). If any neighbor has a concern, they should notify Avalon Management in writing. Please note that neighbor objections do not in themselves cause denial of the plans, however, those concerns may be considered by the Committee. The above form must be completed whether or not a signature has been obtained.

Submitted by:

Name

Date

Address

Home Phone Number

**The Enclave Community Association
Facing, Adjacent and Impacted Neighbor Notification Sheet**

The attached plans were made available for my review, as I am a *Facing Neighbor* for:

Name

Address

I hereby approve/disapprove of the plans as submitted. Notes:

Name

Signature

Address

Date

My Neighbors have seen the plans I am submitting for Architectural Committee approval (see above verification). If any neighbor has a concern, they should notify Avalon Management in writing. Please note that neighbor objections do not in themselves cause denial of the plans, however, those concerns may be considered by the Committee. The above form must be completed whether or not a signature has been obtained.

Submitted by:

Name

Date

Address

Home Phone Number

NOTICE OF COMPLETION

Upon completion of any work for which approval has been given, the Owner shall submit written notice of completion to the Architectural Committee. Within thirty (30) days thereafter a representative of the committee may inspect such improvement. If such work was not done in substantial compliance with the approved plans, the owner will be notified in writing of such noncompliance within this thirty (30) day period and require the Owner to correct the matter within the time limit in the notice, not to exceed thirty (30)

If the owner has failed to remedy the noncompliance, the Architectural Committee shall notify the Board of Directors of the Association in writing of such failure. After affording such owner notice and hearing, the Board shall determine whether there is a noncompliance of the CC&R's and, if so, the nature thereof and the estimated cost of correcting or removing the same. If a noncompliance exists, the owner shall remedy or remove the same within a period of not more than forty-five (45) days from the date of announcement of the Board ruling of noncompliance. If the owner does not comply with the Board ruling within such a period, the Board may levy an Enforcement Assessment against the Owner and/or may record a Notice of Noncompliance and/or commence a lawsuit for damages, injunctive relief, and/or declaratory relief.

VARIANCE

The Committee or Board of Directors may authorize variances from compliance with any architectural provisions contained in these Guidelines, including, without limitation, restrictions upon height, size, or placement of structures, or similar restrictions when circumstances such as topography, natural obstructions, hardship, aesthetic or environmental considerations may require such variances. The granting of a variance must be evidenced in writing, must be signed by a majority of the Architectural Committee and must be approved by the Board of Directors, or be signed by a majority of the Board of Directors.

**The Enclave Community Association
Notice of Completion**

The Enclave Community Association
c/o Avalon Management
8405 Pershing Drive, Suite 401
Playa del Rey, CA 90293

RE: Application #: _____

Notice is hereby given that:

The undersigned is the owner(s) of the property located at:

_____ Street Address

_____ City

The work of improvement on the described property was COMPLETED on the _____ day of _____, 20____ in accordance with the Architectural Committee's written approval of the above owner's plans and submitted package.

Signature of Owner

Dated

Name

ARCHITECTURAL REVIEW COMMITTEE APPEALS

In the event that plans and specifications submitted to the ARC are disapproved, the party or parties making such submission may appeal in writing to the Board. The written request shall be received by the Board not more than fifteen (15) days following the final decision of the ARC. The Board shall submit such requests to the ARC for review. The committee's written recommendations are to be sent to the Board. Within sixty (60) days following receipt for the request for appeal, the Board shall render its written decision. The failure of the Board to render its written decision within said sixty- (60) day period shall be deemed a decision in favor of the appellant.

All appeals submitted to the Board for decision shall be in writing and shall specifically detail the reason or reasons that the appellant believes the Architectural Committee erred in making its decision.

The granting of an appeal shall not operate to waive any of the terms and provisions of this declaration for any purpose except as to a particular property of the particular provision covered by the appeal, nor shall it in any way affect the lot owner's obligation to comply with all governmental regulations and laws affecting their use of the lot.

Any homeowner wishing to appeal the decision of the ARC may additionally request that the Board permit the homeowner to present his or her case during an executive session at the next duly called Board Meeting.

DISCLAIMER

The material contained within this packet is not intended to be substituted for the services of an attorney. The law and its interpretation are constantly changing.

Please consult your professional advisor regarding your involvement in a community association.